

City of Cranston

Zoning Board of Review

April 13, 2022

Chairman of the Board
Christopher E. Buonanno

Members

Joy Montanaro (Vice-Chair)

Paula McFarland

Dean Perdikakis

Carlos Zambrano

Craig Norcliffe (1st Alternate)

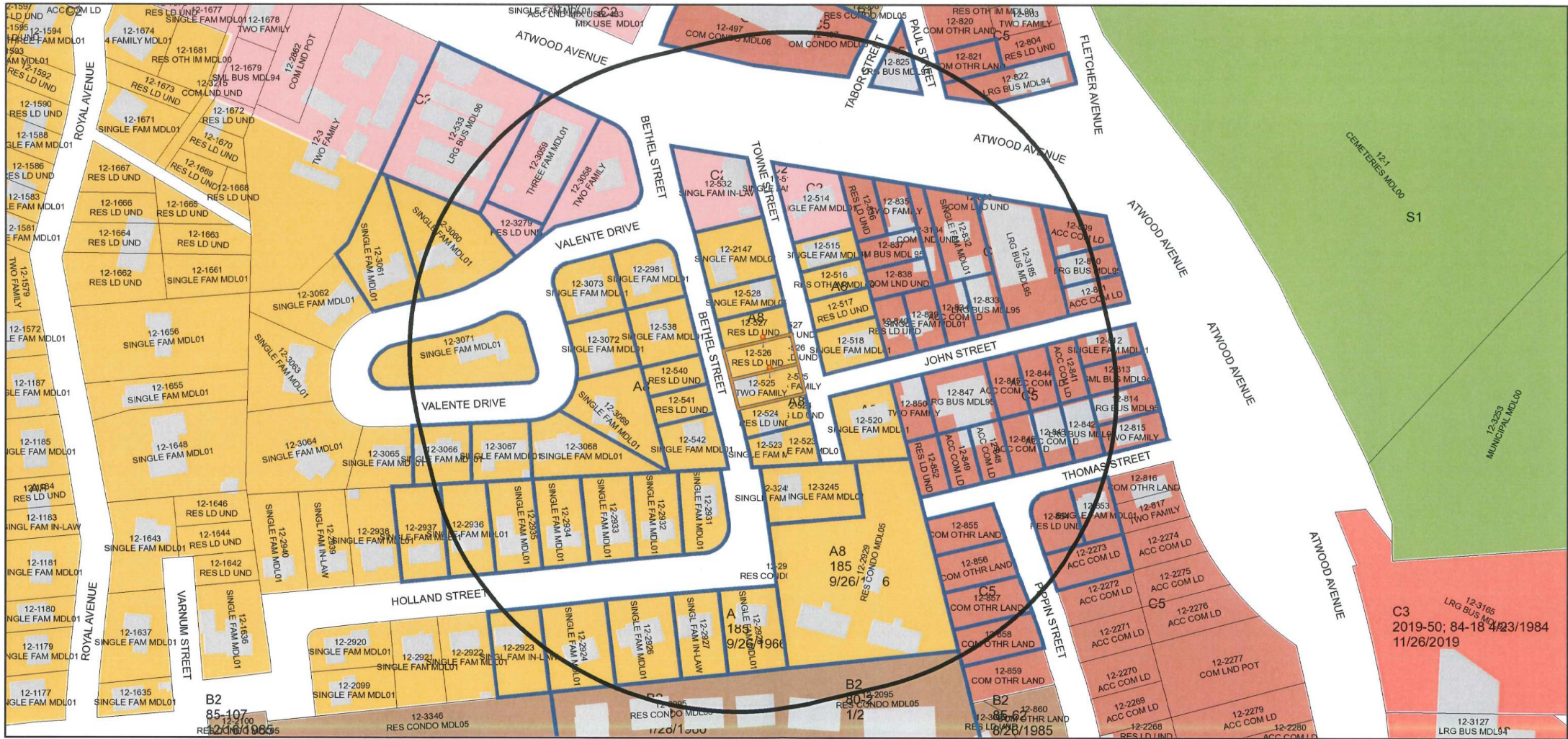
Vacant (2nd Alternate)

Vacant (3rd Alternate)

Jason Jodoin (4th Alternate)

FERNANDO VALERO(OWN/APP) has filed an application to construct an addition to a legal non-conforming two family dwelling expanding the non-conforming use at **29 Bethel Street**, A.P. 12, lots 525,526; area 7,200 s.f. zoned A8. Applicant seeks relief per Section 17.92.010-Variance; Sections 17.20.030 Schedule of Uses, 17.88.050 Structural Alterations. Application filed 3/04/2022.
No attorney.

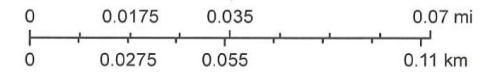
29 Bethel St 400' Radius Plat 12 Lots 525 & 526



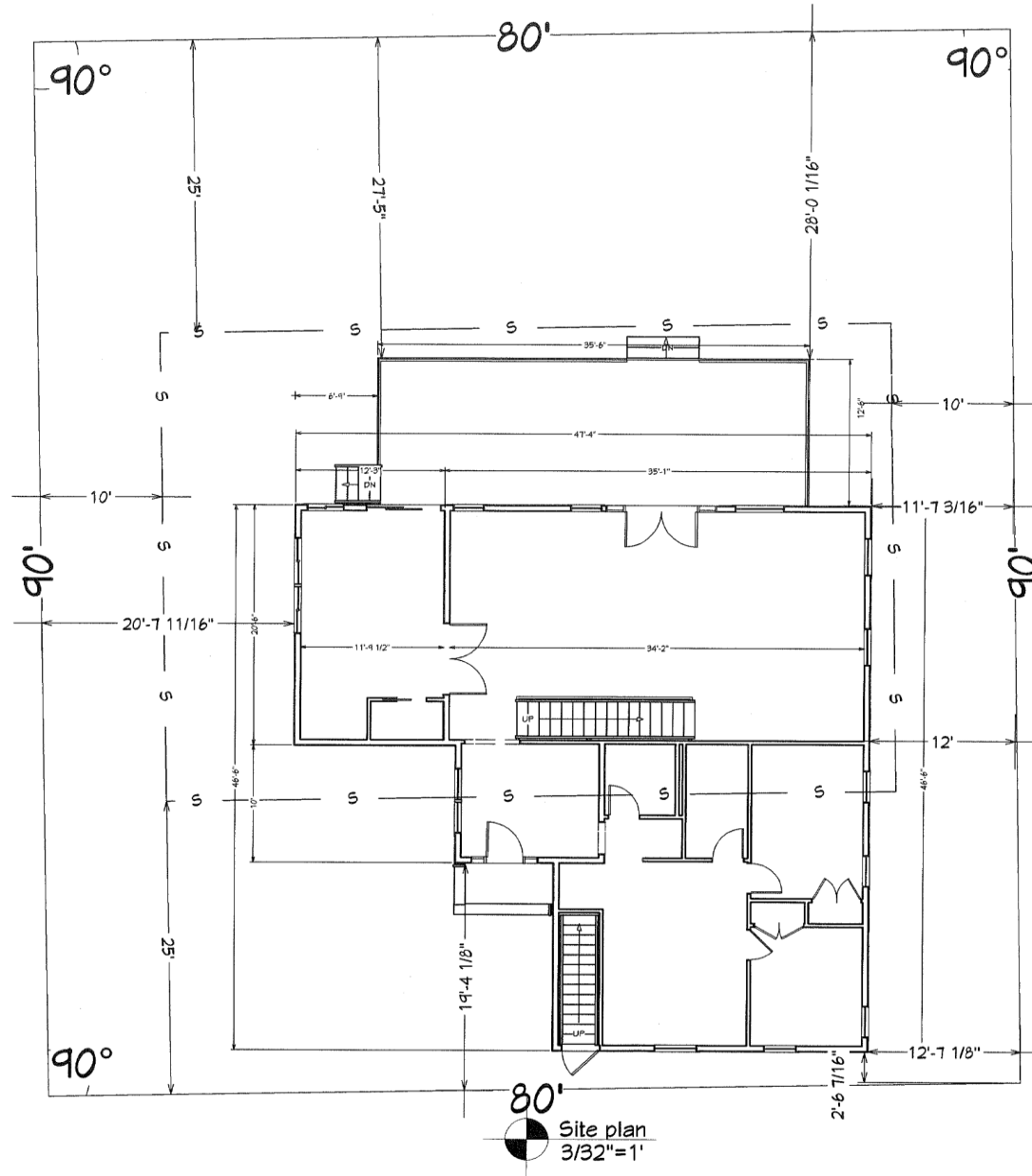
1/12/2022, 2:43:55 PM

Parcel ID Labels	Historic Overlay District	A8	C3	MPD
Streets Names	Zoning	A6	C4	S1
Cranston Boundary	none	B1	C5	Other
Parcels	A80	B2	M1	
Buildings	A20	C1	M2	
Zoning Dimensions	A12	C2	EI	

1:1,500



City of Cranston



Layout Page Table	
Label	Title
P-1	Site plan
P-2	Existing
P-3	Foundation
P-4	First floor
P-5	Second floor
P-6.1	Elevations
P-7	Construction Detail

DRAWINGS PROVIDED BY:
 Fernando Valero
 29 Bethel Street
 Cranston, RI 02920
 (774)236-9178

DATE:
 3/3/22

SHEET:
 P-1



- Legend
- Streets Names
 - Cranston_Bo...
 - EP11 Site Addresses
 - Plat Bounds
 - Parcel ID Labels
 - Parcels
 - Hydro Poly 2001
 - Stream/Water Body
 - Swamp
 - Buildings
 - Edge Of Pavement
 - Cemeteries

Plat 12
Block 2
Lot 225/226
Lot sf 7200sf

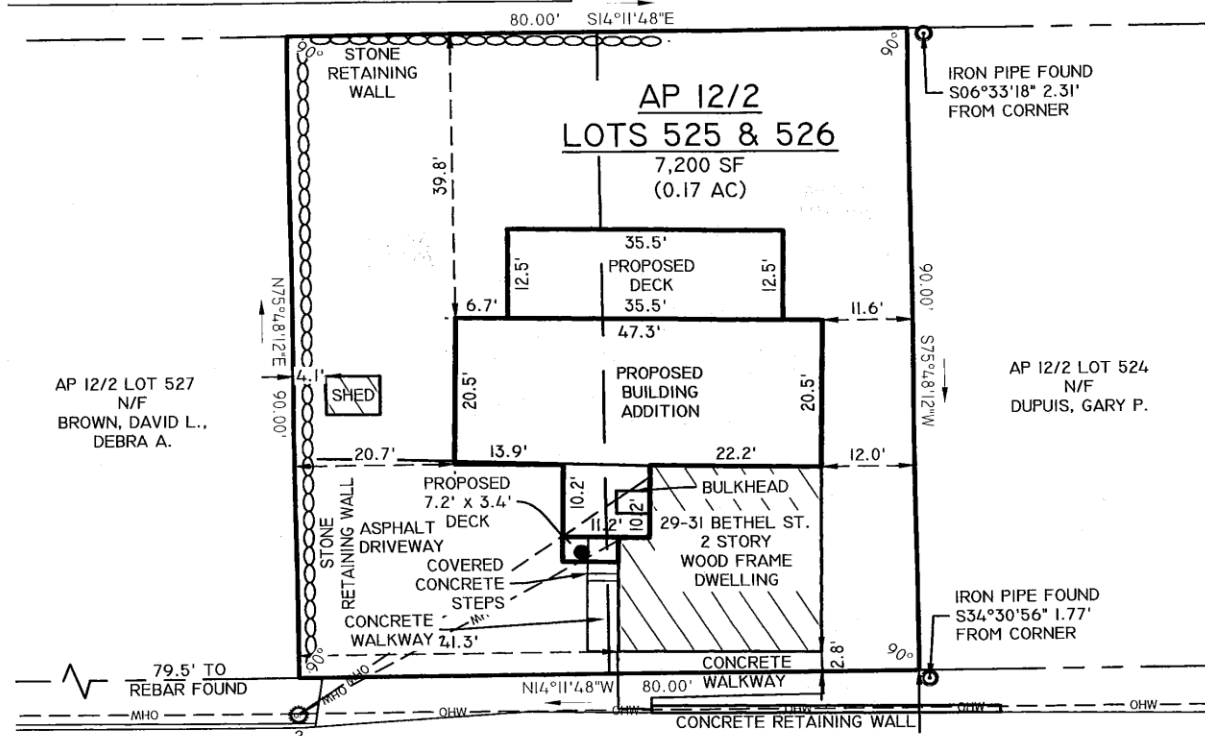
Layout Page Table		Description Comments
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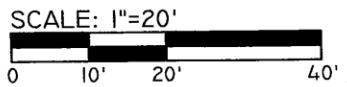
DATE:
 3/3/22

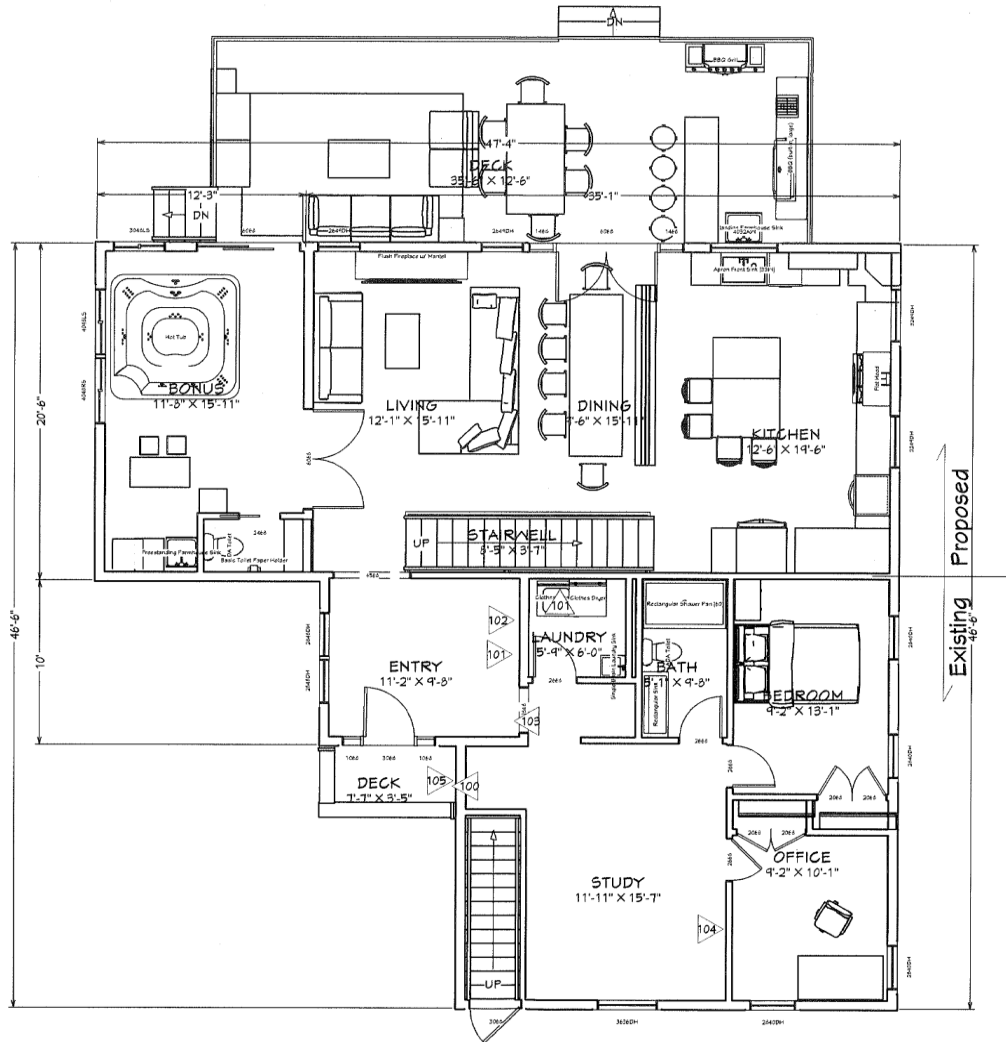
SHEET:
 P-2

TOWNE STREET
(30' WIDE PUBLIC RIGHT OF WAY)



BETHEL STREET
(30' WIDE PUBLIC RIGHT OF WAY)






First floor
 1/8"=1'

Demolition notes	
	Existing exterior door to be removed
	Existing window to be removed
	Existing bulkhead to be removed
	Cut in new deconway
	Existing stove and wiring to be removed
	Existing entry way roof to be removed

Existing
 Proposed

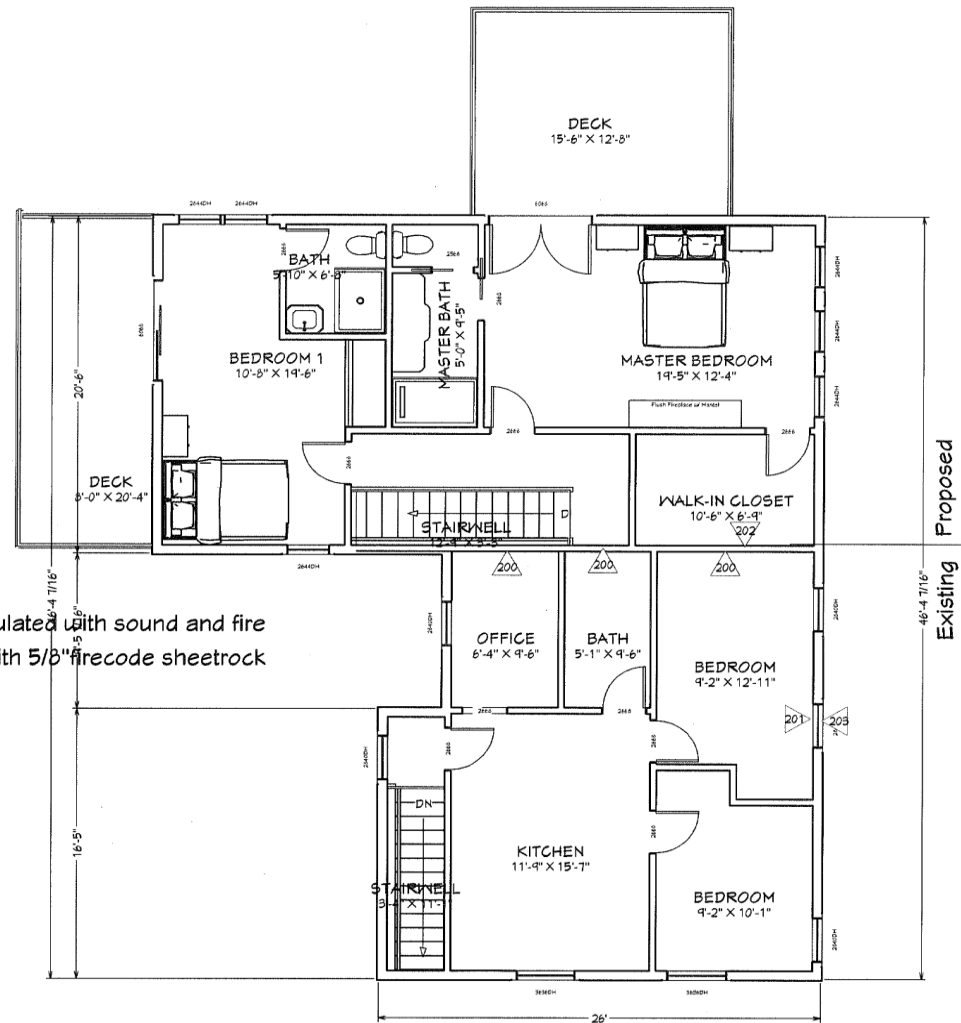
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DATE:
 3/3/22

SHEET:
P-4

Wall between units to be insulated with sound and fire retardant insulation covered with 5/8" firecode sheetrock



Second floor
1/8"=1'

Demolition notes

200	Existing window to be removed
201	Egress window to be cut in and installed
202	Existing fire escape to be removed and salvaged
203	Salvaged fire escape to be reinstalled here

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29 Bethel Street
Cranston, RI 02920
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3/3/22


SHEET:

P-5

Layout Page Table

Label	Title	Description	Comments
P-1	Site plan		
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 North Elevation
 3/16"=1'

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 (774)236-9178


DATE:

3/3/22

SHEET:

P-6.2




 East elevation
 1/4"=1'


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DRAWINGS PROVIDED BY:
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DATE:
 3/3/22

SHEET:
P-6.3




 South elevation
 3/16"=1'

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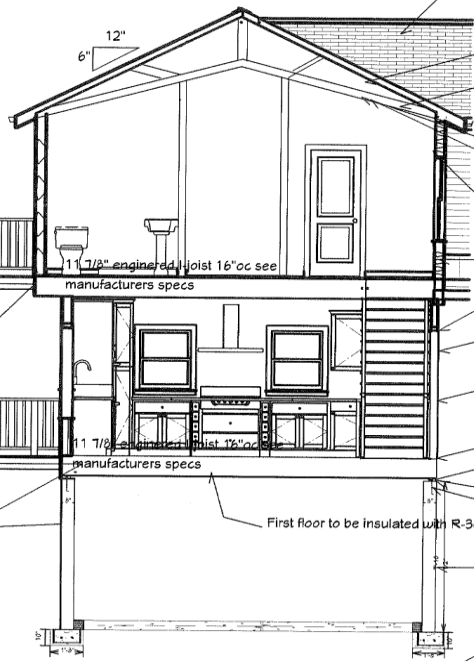
SHEET:

P-6.4

FRAMING NOTES:
 PROVIDE DOUBLE JSTS. UNDER ALL WALLS RUNNING PARALLEL TO JOISTS.
 PROVIDE POSITIVE VENTILATION AT EA. END OF EA. RAFTER SPACE AT VAULTED CEILING AREAS.
 PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER I.B.C. SEC. R502.12.
 PROVIDE POSITIVE CONNECTIONS AT EACH END OF ALL POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT.

LUMBER SPECIES:
 POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2.
 EXPOSED ARCH BEAMS TO BE DF-#1 OR BETTER.
 SILLS, PLATES BLOCKING, AND BRIDGING TO BE DF-#2.
 ALL STUDS TO BE DF#2 OR BETTER.
 PLYWOOD SHEATHING SHALL BE AS FOLLOWS:
 ROOF SHEATHING SHALL BE 5/8" PLYWOOD OR 3/32 OSB.
 WALL SHEATHING SHALL BE 1/2" INT-APA RATED 32/16 OR 7/16" OSB.
 FLOOR SHEATHING SHALL BE 3/4" T & G INT-APA RATED OSB.

Composite rails 36" high to top rail.
 composite decking
 2x8 pressure treated framing
 Deck ledger to be attached using simpson galvanized deck tension ties and ledger lok screws in between
 4X4 pressure posts with simpson post brackets top and bottom or thru bolted to framing
 Composite deck rails
 Composite decking
 2x10 pressure treated framing
 Deck ledger to be attached using simpson deck tension tie kit and ledger lok screws in between
 post to be anchored to concrete footing
 precast concrete footings to be minimum 42" below finish grade



Roof to have ice and water 3'up remainder to be covered with synthetic roof underlayment and asphalt shingles
 Attic space to be insulated to R-38
 Roof truss drawn not actual truss design. Design to be supplied by truss manufacturer
 3/4" strapping @ 16"oc installed on underside of trusses
 1/2" blueboard and plaster skimcoat
 Wall connecting to existing second floor apartment to be insulated with Roxul (or equivalent) sound and fire resistant insulation
 R-21 Fiberglass insulation
 Vinyl dutchlap style siding
 7/16" OSB sheathing covered with tyvek or equivalent house wrap
 Typical 2X6 construction
 3/4" Advantech or equivalent T&G subflooring glue and nailed per manufacturers specs
 2x6 pressure treated sill
 Foam sill seal between top of foundation and sill plate
 1/2" galvanized anchor bolts
 First floor to be insulated with R-30 fiberglass insulation
 Foundation walls to be damp proofed and 1 1/2" rigid foam insulation applied prior to backfilling
 Bottom of footings to be minimum 42" below finished grade

DOOR AND WINDOW NOTES:
 EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH.
 ALL WALK-THRU DOORS SHALL BE SOLID CORE
 INTERIOR DOORS SHALL BE PAINTED. ENTRY DOOR TO BE DEFINED BY HOME OWNER PRIOR ORDERING
 DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 60 MINUTES. DOOR SHALL BE SELF CLOSING
 EXTERIOR EXIT DOORS WILL BE 30" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS WITH MIN. U-VALUE OF 0.68
 GARAGE DOORS TO BE SECTIONAL OVERHEAD DOORS

ROOF FRAMING / TRUSS NOTES:
 TRUSS DRAWING IS FOR ILLUSTRATION ONLY. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS DRAWINGS & SPECIFICATIONS.
 ALL TRUSSES SHALL CARRY MANUFACTURERS STAMPS.
 ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS.
 ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION
 ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER.
 ALL ROOF FRAMING 24" O.C.
 ALL OVERHANGS 16"
 INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES. OPENINGS IN PLATES, CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.
 ATTIC VENTILATION TO BE PROVIDED ABOVE HOUSE.
 MIN. SNOW LOAD 50 LB'S PER SQUARE FOOT.
 WALL HEADERS (2) 2 X 10 DF #2 TYP. UNL.
 ROOF & FLOOR TRUSS MANUFACTURER.

WINDOW SCHEDULE											
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	RO	EGRESS	DESCRIPTION	HEADER	THICKNESS
W01	2844DH	2	2	2844DH	30	32 1/2	24 X33		DOUBLE HUNG	2X6X11"	1 3/4
W02	2820DH	1	0	2820DH	32	24	35 X25		DOUBLE HUNG	2X6X9"	1 3/4
W03	2821UDH	1	0	2821UDH	32		172		DOUBLE HUNG	2X6X9"	1 3/4
W04	2832UH	2	1	2832UH	32	38	33 X34		DOUBLE HUNG	2X6X9"	1 3/4
W05	2848UH	4	1	2848UH	32	56	33 X51		DOUBLE HUNG	2X6X9"	1 3/4
W06	2848SC	1	2	2848SC	32	56	33 X51		CASEMENT FR	2X6X9"	1 3/4
W07	3048LS	1	1	3048LS	36	56	31 X51		LEFT SLIDING	2X6X52"	1 3/4
W08	4032AVN	1	1	4032AVN	48	36	44 X34		SINGLE AWNING	2X6X52"	1 3/4
W09	4048LS	1	1	4048LS	48	56	44 X51		LEFT SLIDING	2X6X52"	1 3/4
W10	4048RS	1	1	4048RS	48	56	44 X51		RIGHT SLIDING	(2)	1 3/4

DOOR SCHEDULE											
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	RO	DESCRIPTION	HEADER	THICKNESS	
D01	1088	2	1	EX	12	80	14 X83	EXT. RINGED DOOR SLOZ	2X6X11" (2)	1 3/4	
D02	1488	2	1	1488 L EX	18	80	18 X83	EXT. RINGED DOOR SLOZ	2X6X11" (2)	1 3/4	
D03	2488	1	1	2488 R IN	28	80	30 X82 1/2	RINGED DOOR P04	2X6X9" (2)	1 3/8	
D04	2588	1	2	2588 K	3/4	80	112	POCKET DOOR P04	(2)	1 3/8	
D05	2688	1	1	2688 L IN	30	80	32 X82 1/2	RINGED DOOR P04	2X6X5" (2)	1 3/8	
D06	2688	2	2	2688 L IN	30	80	32 X82 1/2	RINGED DOOR P04	2X6X5" (2)	1 3/8	
D07	2688	1	2	2688 K	30	80	62 X82 1/2	POCKET DOOR P04	2X6X5" (2)	1 3/8	
D08	2688	2	2	2688 R IN	30	80	32 X82 1/2	RINGED DOOR P04	2X6X5" (2)	1 3/8	
D09	3088	1	1	3088 L EX	36	80	38 X83	EXT. RINGED DOOR P04	2X6X41" (2)	1 3/4	
D10	3088	1	2	3088 L R	60	80	62 X83	EXT. RINGED DOOR P04	2X6X41" (2)	1 3/4	
D11	8088	1	1	8088 R	12	80	14 X83	PANEL	2X6X5" (2)	1 3/4	
D12	8088	1	1	8088 R	12	80	14 X82 1/2	DOUBLE HINGED GLASS PANEL	2X6X11" (2)	1 3/4	
D13	8088	1	1	EX	12	80	14 X83	EXT. SLIDER GLASS PANEL	2X6X11" (2)	1 3/4	
D14	8088	1	2	EX	12	80	14 X83	EXT. SLIDER GLASS PANEL	2X6X11" (2)	1 3/4	

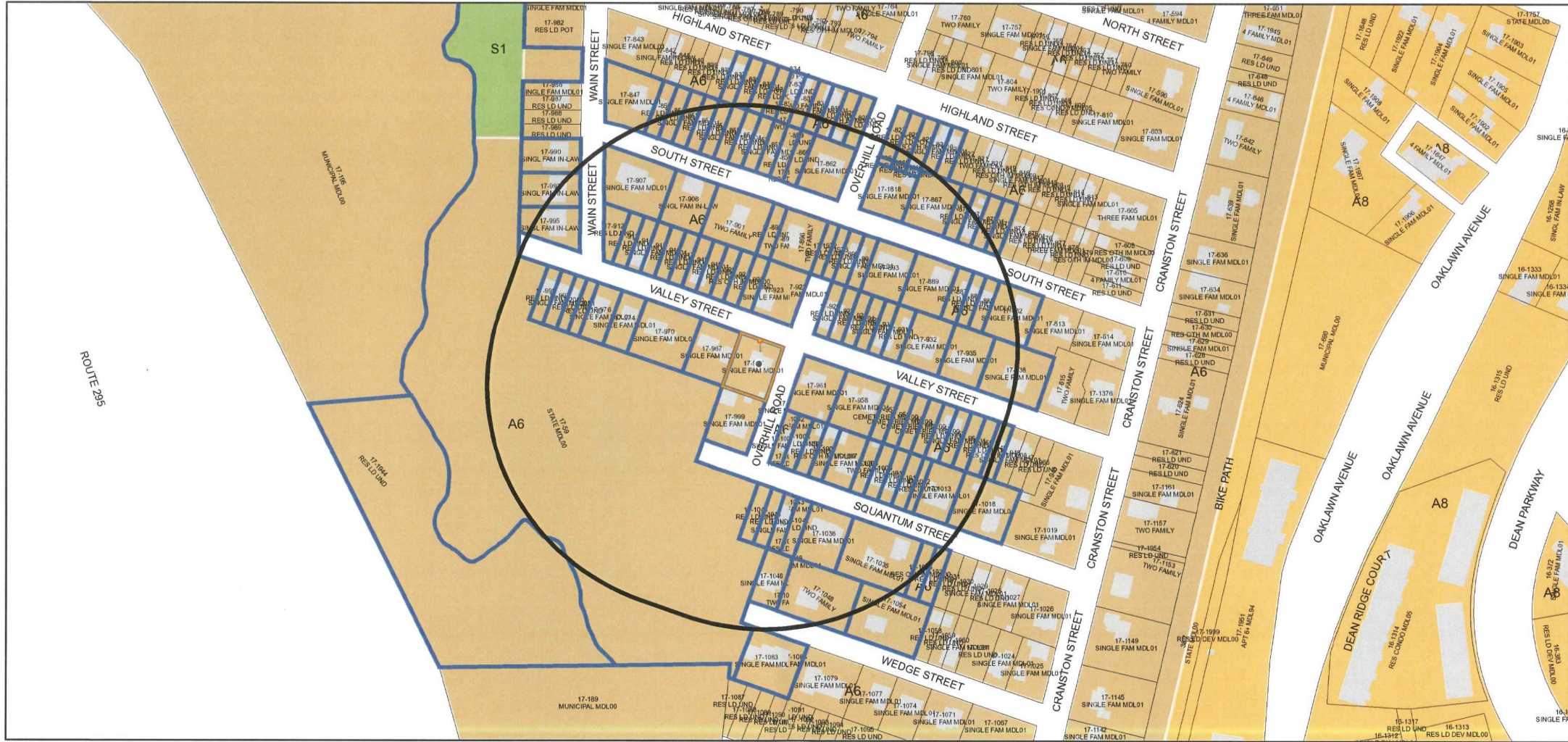
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 Fernando Valero
 29 Bethel Street
 Cranston, RI 02920
 (774)236-9178

DATE:
 3/3/22
 SHEET:
 P-7

DANIEL J. LYONS (OWN/APP) has applied to request permission to allow an addition to be constructed in the required front yard setback on a corner lot at **48 Valley Street**, A.P 17, lot 964; area 7,500 s.f.; zoned A6. Applicant seeks relief per Section 17.92.010-Variance; Sections 17.20.120- Schedule of Intensity Regulations. Application filed 3/09/2022. No attorney.

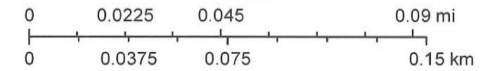
48 Valley St 400' Radius Plat 17 Lot 964



1/31/2022, 9:16:20 AM

- | | | | | |
|---------------------|---------------------------|----|----|-------|
| Parcel ID Labels | Historic Overlay District | A8 | C3 | MPD |
| Streets Names | Zoning | A6 | C4 | S1 |
| — Cranston Boundary | none | B1 | C5 | Other |
| □ Parcels | A80 | B2 | M1 | |
| ■ Buildings | A20 | C1 | M2 | |
| Zoning Dimensions | A12 | C2 | EI | |

1:2,000



City of Cranston



REFERENCES:

- DEED BOOK 796, PAGE 332
- PLAN ENTITLED "MESHANTICUT PARK, PLAT NO. 3 CRANSTON, R.I. BELONGING TO JOHN M. DEAN, BY FRANK E. WATERMAN, SEPT., 1894" FILED ON PLAT CARD 38.



LOCUS MAP

ZONING DISTRICT A-6

MINIMUM LOT AREA:	6,000 S.F.
MINIMUM LOT WIDTH:	60 FT.
MINIMUM LOT FRONTAGE:	60 FT.
MINIMUM SETBACKS	
FRONT:	25 FT.
SIDE:	8 FT.
REAR:	20 FT.
MAXIMUM BUILDING HEIGHT:	35 FT.
MAXIMUM LOT COVERAGE:	30%
PROPOSED LOT COVERAGE:	24.4%

DIMENSIONAL CONFORMANCE SURVEY

A.P. 17-3 / LOT 964
48 VALLEY STREET
CRANSTON, R.I. 02920

SCALE: 1" = 20' DATE: JANUARY 26, 2022

PREPARED FOR:

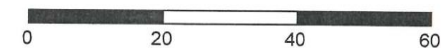
DANIEL J. LYONS
48 VALLEY STREET
CRANSTON, R.I. 02920

PREPARED BY:

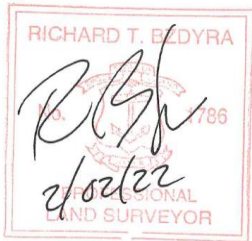
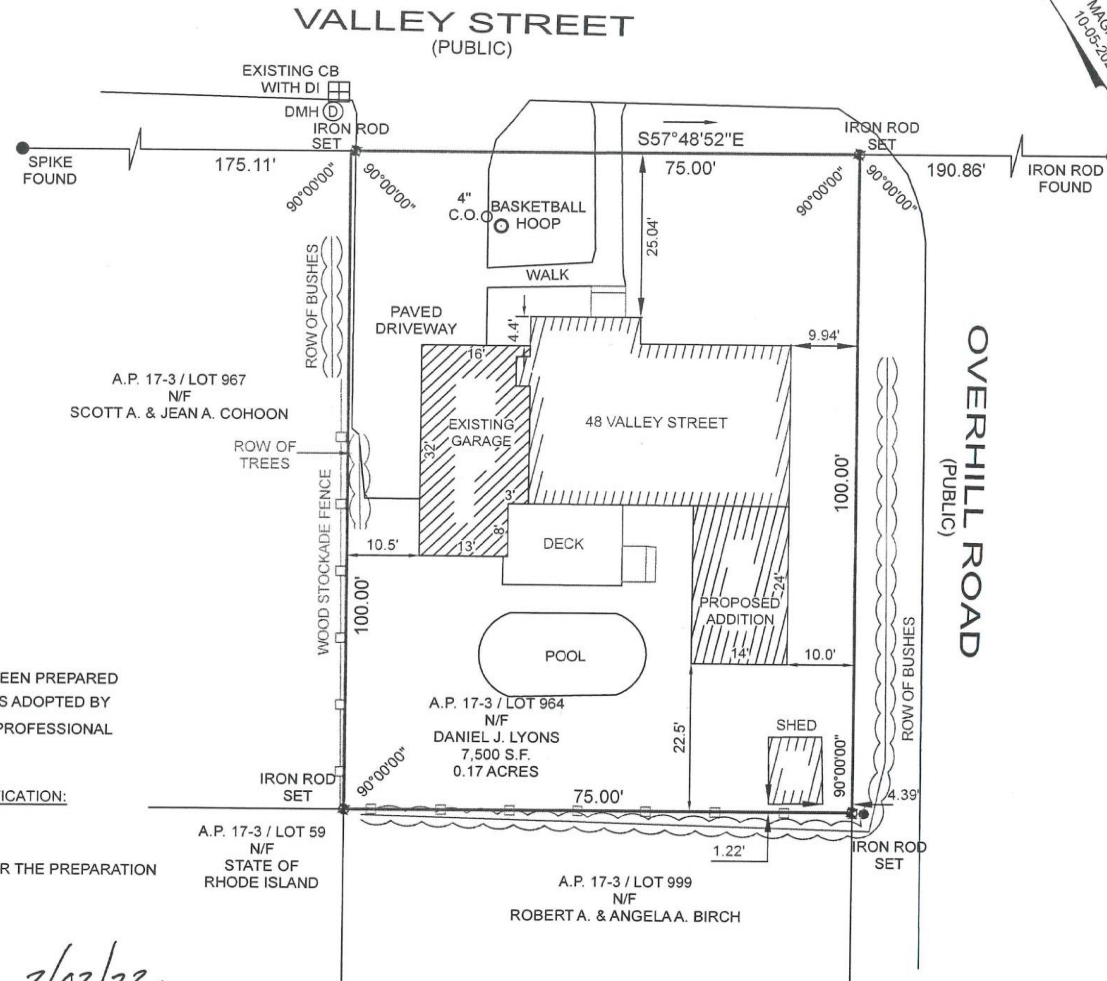
OCEAN STATE PLANNERS, INC.
1255 OAKLAWN AVENUE, CRANSTON, RI 02920
PHONE: (401) 463-9696 info@osplanners.com

JOB NO. 9821 / DWG. NO. 9821 - DC - (CJB/ AJB)

GRAPHIC SCALE / 1" = 20'



OVERHILL ROAD
(PUBLIC)



SURVEY CLASSIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: MEASUREMENT SPECIFICATION:

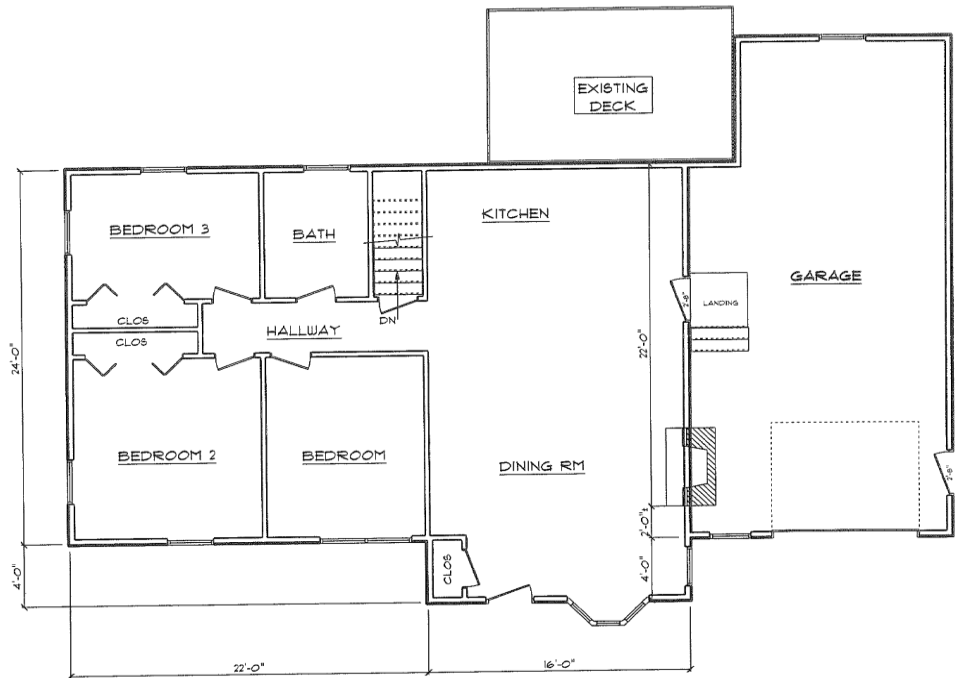
LIMITED CONTENT BOUNDARY SURVEY CLASS I

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:

TO ESTABLISH AND STAKE RECORD BOUNDARY LINES.

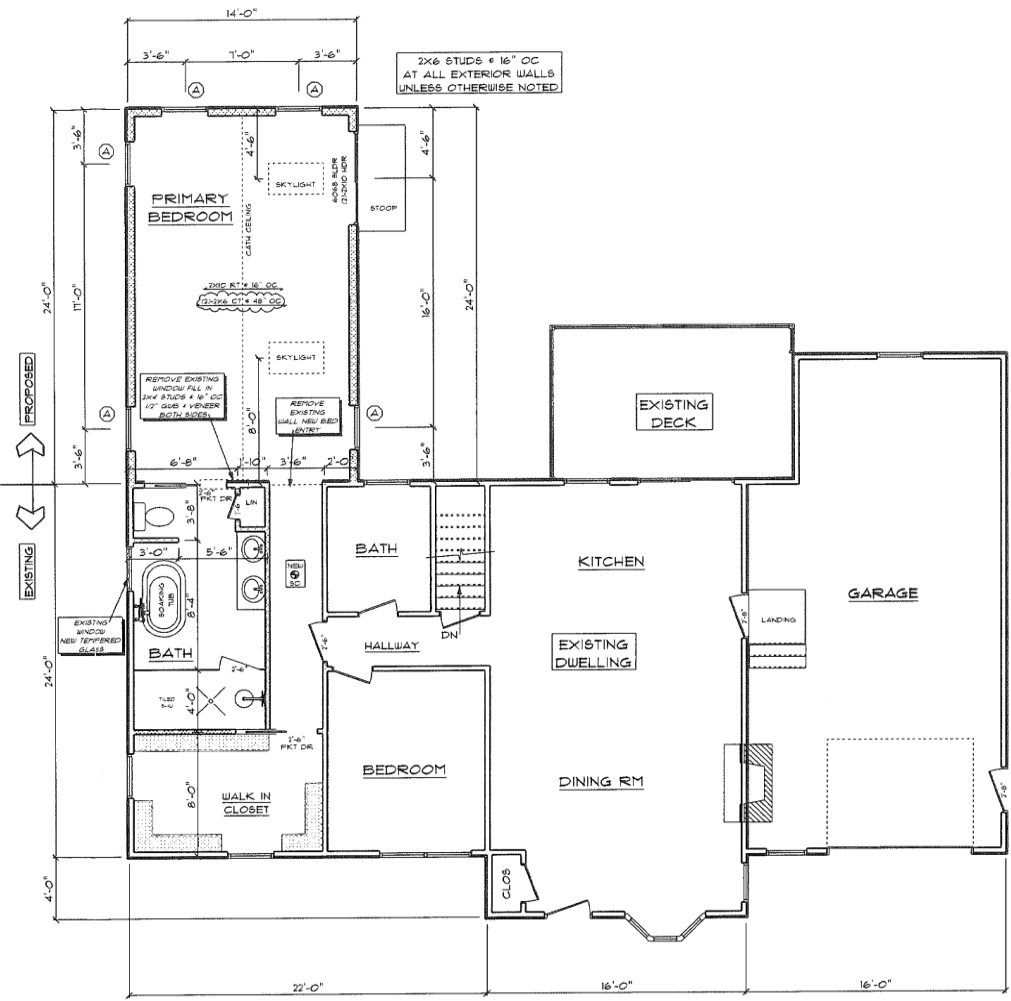
BY: *Richard T. Bzdyra* DATE: *2/02/22*

BY: RICHARD T. BZDYRA, PLS; LICENSE #1786, COA # LS-A60



EXISTING FIRST FLOOR PLAN 1/4"=1'-0"

PRELIMINARY PLANS ONLY
FOR ZONING AND PRICING ONLY



EXISTING & PROPOSED FIRST FLOOR PLAN 1/4"=1'-0"

THESE DRAWINGS ARE IN ACCORDANCE WITH THE FOLLOWING DESIGN CRITERIA.

1. RIBCC - 2 - 2019
2. WIND DESIGN: ZONE 1 (100 MPH)
3. LOAD DESIGN: 40 PSF LIVING AREA LOADS
30 PSF SLEEPING AREA LOADS
30 PSF DEAD LOADS
20 PSF ATTIC LOADS
40 PSF EXTENSION DECK LOADS
30 PSF SNOW LOADS
4. FROST DEPTH: MINIMUM 3'-6" DEEP
5. CLIMATE ZONE: 9
6. CONSTRUCTION TYPE: 5B
7. BUILDING HEIGHT: (MAXIMUM 35'-0") MEASURED FROM TOP OF FOUNDATION TO RIDGE
8. ALL INSULATION IN EXTERIOR WALLS ARE BASED ON THE THINKING AS FURN THE PREScriptive METHOD OF TABLE N102.12 OF THE ENERGY CONSERVATION CODES.

LEGEND:

- SOLID BEARING TO FOUNDATION
- 16 TEMPERED GLASS
- 6SD SMOKE DETECTOR
- 6CO SMOKE DETECTOR + CARBON MONOXIDE
- HU HOT WATER
- HU HEATING UNIT/ BOILER
- 100 CFM FAN VENTED TO OUTSIDE
- HD HEAT DETECTOR
- WC WALK IN CLOSET
- M/C MAKE UP COUNTER
- BEARING WALL
- NEW EXTERIOR WALL
- NEW INTERIOR WALL
- EXISTING EXTERIOR WALLS TO REMAIN
- EXISTING INTERIOR WALLS TO REMAIN
- EXISTING TO BE REMOVED
- WINDOW UNIT NUMBER
- DOOR UNIT NUMBER

WINDOW SCHEDULE					
TYPICAL HEADERS (3' x 10')			TYPICAL HEADERS (4' x 10')		
NOTE: ALL LUMBER SPECIES FOR HEADINGS, JOISTS, AND BEAMS TO BE KD SPRUCE NO. 1 OR BETTER.					
ALL LOADS FOR FLOOR JOISTS, RAFTERS, HEADINGS AND BEAMS ARE BASED ON THE FOLLOWING:					
FLOOR JOIST LIVING AREAS: 40 PSF LIVE LOAD, 30 PSF DEAD LOAD					
FLOOR JOIST SLEEPING AREAS: 30 PSF LIVE LOAD, 30 PSF DEAD LOAD					
MANUFACTURER / OR EQUIVALENT: HARVEY WINDOWS MIN. U-FACTOR .35					
UNIT	ROOM / OPENING	TYPE	QTY	AREA - SQ. FT.	DESIGN PRESSURE
A	BRN	7'-0" x 4'-6" 1/2"	2	127.217'	30

DOOR SCHEDULE		
TYPICAL HEADERS (3' x 10')		
TYPICAL HEADERS (4' x 10')		
NOTE: INTERIOR AND EXTERIOR DOOR SIZES ARE NOTED ON PLANS.		
EXTERIOR DOORS 4'-0" HIGH TYPICAL		
EXTERIOR DOORS 4'-11" HIGH TYPICAL		
DESIGN PRESSURE		DESIGN PRESSURE PROVIDED
WIND ZONE: 9	100 MPH	30
WIND EXPOSURE: B	HEIGHT FROM FIN. FLOOR TO TOP OF DOOR: 6'-6"	
WIND PRESSURE ZONE: 4 + S		

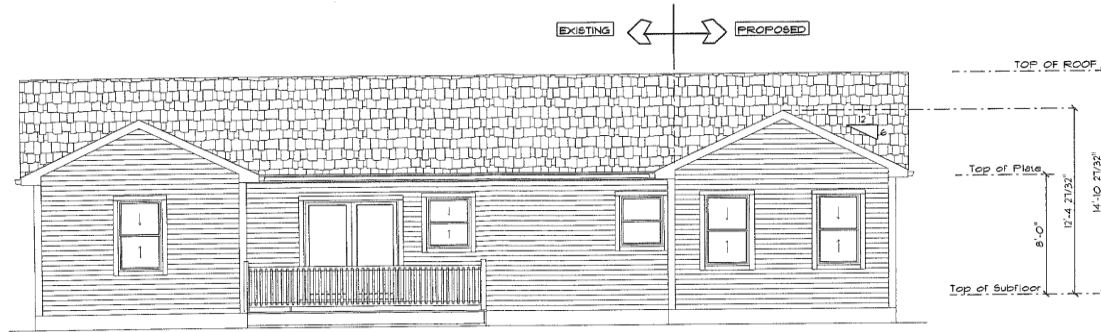
14 X 24 MASTERSUITE ADDITION
PREPARED FOR:
DANIEL LYONS
48 VALLEY STREET
CRANSTON, RHODE ISLAND

CONSTRUCTION PLANS ARE DRAFTED FOR SINGLE-USE ONLY. ALL DIMENSIONS AND DOES NOT PRESENT THE SET OF PLANS THAT HAVE BEEN INTERFERED WITH BY OUTSIDE PARTIES.

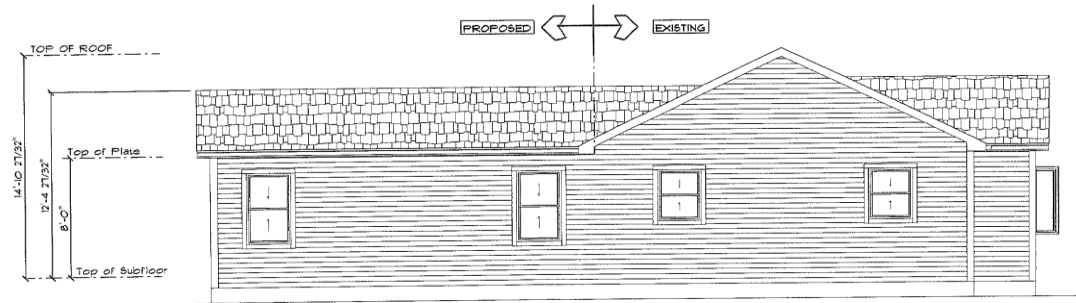
EST. 1982
DLR DIMENSIONS
RESIDENTIAL DESIGNERS & CONSULTANTS
401.738.3156
DLRDIMENSIONS.COM

DLR DIMENSIONS, INC. IS NOT RESPONSIBLE FOR ANY CHANGES TO THESE PLANS. ANY CHANGES TO THESE PLANS MUST BE MADE BY THE ARCHITECT OR ENGINEER OF RECORD. THESE PLANS DO NOT CONSTITUTE A CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.

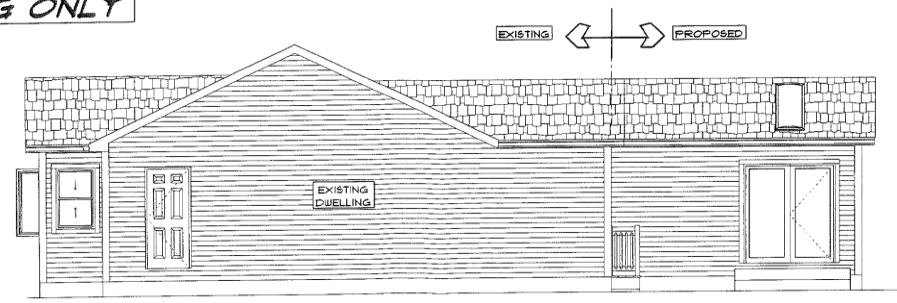
SCALE NOTED
DATE Monday, March 7, 2022
APPROVED
DRR
DRAWN BY DRR
DRAWING NUMBER 6226-1
1 OF 3



BACK ELEVATION 1/4"=1'-0"



LEFT SIDE ELEVATION 1/4"=1'-0"



RIGHT SIDE ELEVATION 1/4"=1'-0"

**PRELIMINARY PLANS ONLY
FOR ZONING AND PRICING ONLY**

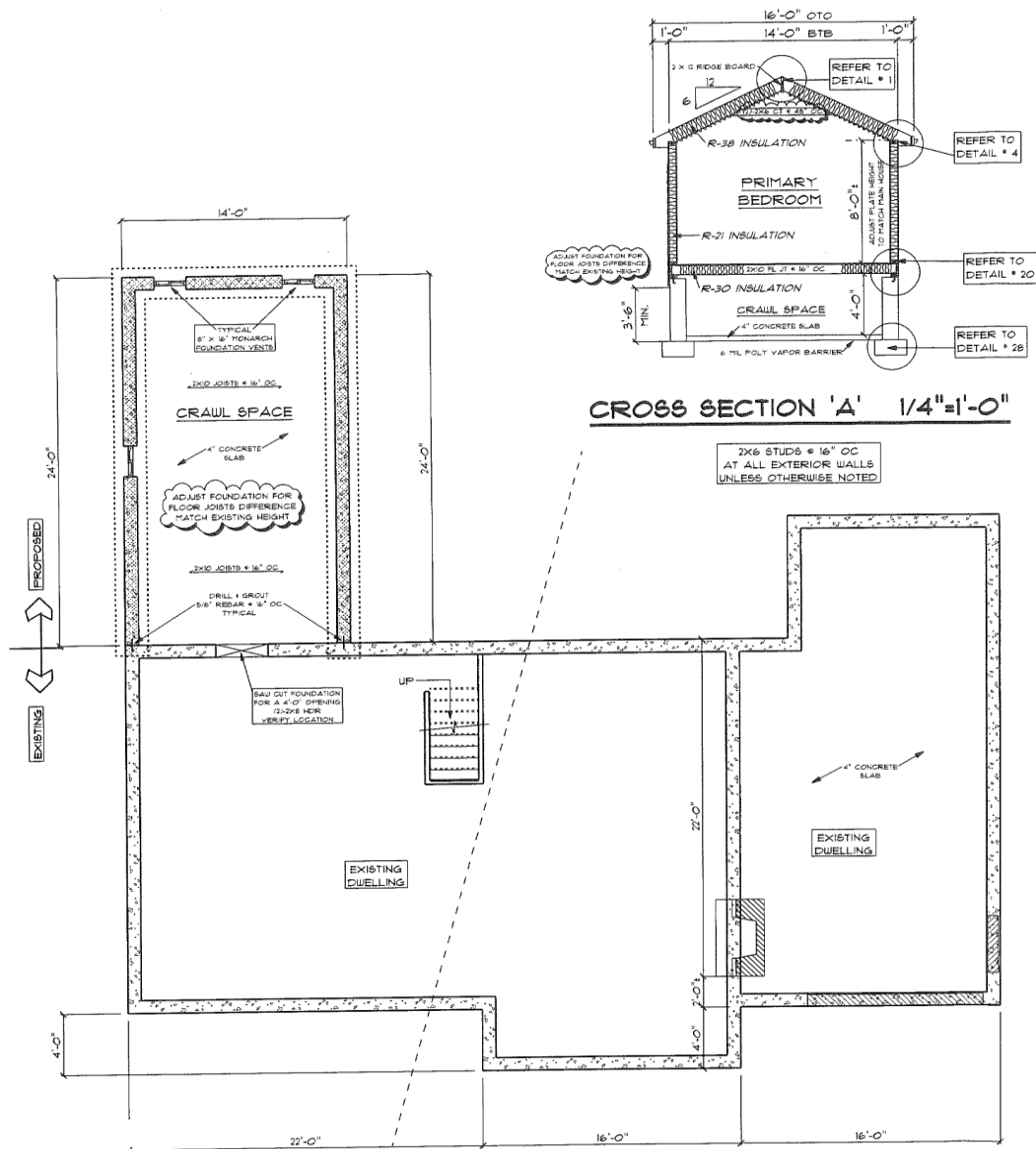
14 X 24 MASTERSUITE ADDITION
 PREPARED FOR:
 DANIEL LYONS
 48 VALLEY STREET
 CRANSTON RHODE ISLAND

CONSTRUCTION PLANS ARE DRAFTED FOR SINGLE-USE ONLY. DLR DIMENSIONS, INC. DOES NOT PERMIT THE USE OF PLANS THAT HAVE BEEN TAMPERED WITH BY OUTSIDE PARTIES.

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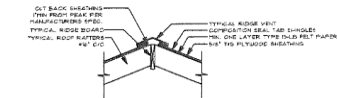
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SCALE NOTED
DATE
Monday, March 1, 2022
APPROVED
DRR
DRAWN BY
DRR
DRAWING NUMBER
6226-1
1 OF 3

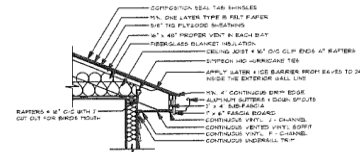


CROSS SECTION 'A' 1/4"=1'-0"

EXISTING & PROPOSED FOUNDATION PLAN 1/4"=1'-0"



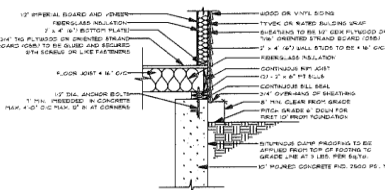
TYPICAL RIDGE W/ RAFTERS DETAIL #1
INSULATION IS NOT REQUIRED IN GARAGE UNLESS OTHERWISE NOTED IN PLANS



TYPICAL RAFTER W/ VINYL SOFFIT DETAIL #4
INSULATION IS NOT REQUIRED IN GARAGE UNLESS OTHERWISE NOTED IN PLANS

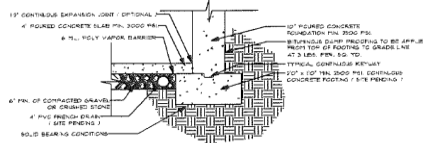
TYPICAL NAILING SCHEDULE
TYPICAL FLOOR
 JOIST TO WALL OR GIRDERS: 12" ON CENTER (3) ED
 12" JOIST TO JOIST (3) ED
 3/4" DECK SHEATHING TO FRAMING: 8" COMMON NAIL OR 16GA. 12" STAPLE OR 17" RING OR SCREW SHANK NAILS & 6" FROM EDGES 2" O.C.
TYPICAL BUILT-UP GIRDERS AND BEAMS
 NAIL EACH LAYER WITH 10D NAILS & 37" O.C. AT TOP AND BOTTOM STAGGERED. TWO NAILS AT ENDS AND AT EACH SPLICE.
TYPICAL WALLS
 BOTTOM PLATE TO JOIST: 16D OR 18" O.C.
 STUD TO BOTTOM PLATE: (2) 16D OR (3) 18" STUD TO TOP PLATE: (2) 16D OR (3) 18" O.C.
 DOUBLE TOP PLATE: (2) 16D OR (3) 18" O.C.
 DOUBLE STUDS: (2) 16D OR (3) 18" O.C.
 PLATE LAP AT CORNERS AND INTERSECTIONS: (4) 10D 12" WALL SHEATHING TO FRAMING: 6D OR 8" S.G. 11/2" STAPLES OR 11/2" RING OR SCREW SHANK NAILS & 6" FROM EDGES 2" O.C.
TYPICAL BUILT-UP HEADERS
 TWO PIECES WITH 1/2" SPACER: 16D OR 18" O.C. ALONG EACH EDGE
TYPICAL ROOFS
 CEILING JOIST TO PLATE: 12" ON CENTER (3) ED
 CEILING JOIST LAP OVER PARTITION FACE: NAIL (3) JOIST RAFTER TO PLATE: 12" ON CENTER (3) ED
 1/2" ROOF SHEATHING TO FRAMING: 6D OR 8" S.G. 11/2" STAPLES OR 11/2" RING OR SCREW SHANK NAILS & 6" FROM EDGES 2" O.C.

GENERAL NOTE
 EXEMPT WINDOWS IN ALL BEDROOMS AS PER CODE
 SMOKE DETECTOR & CARBON MONOXIDE AS PER FIRE PROTECTION CODE
 PROVIDE & 27" x 30" ATTIC ACCESS OPENING.
 ALL DIMENSIONS, NOTES, AND OTHER INFORMATION CONVEYED IN THESE DRAWINGS FOR CONSTRUCTION PURPOSES ARE SUBJECT TO CHANGE AND SHOULD BE VERIFIED IN FIELD BY BUILDER / CONTRACTOR ACCORDING TO LOCAL AND STATE BUILDING CODES.
 THIS DRAFTER/PERSON SHALL NOT BE RESPONSIBLE FOR ANY CHANGES THAT WOULD MAKE THE STRUCTURE PHYSICALLY UNSAFE.
 UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE TO INSURE STRUCTURAL STABILITY AND CONFORMANCE TO APPLICABLE CODES.



TYPICAL FLOOR TO FOUNDATION DETAIL #20

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TYPICAL FOOTING W/ FLOOR DETAIL #28
 INSULATION IS NOT REQUIRED IN GARAGE UNLESS OTHERWISE NOTED IN PLANS

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SCALE NOTED

DATE

Monday, March 7, 2022

APPROVED

DLR

DRAWN BY

DLR

DRAWING NUMBER

6226-1